

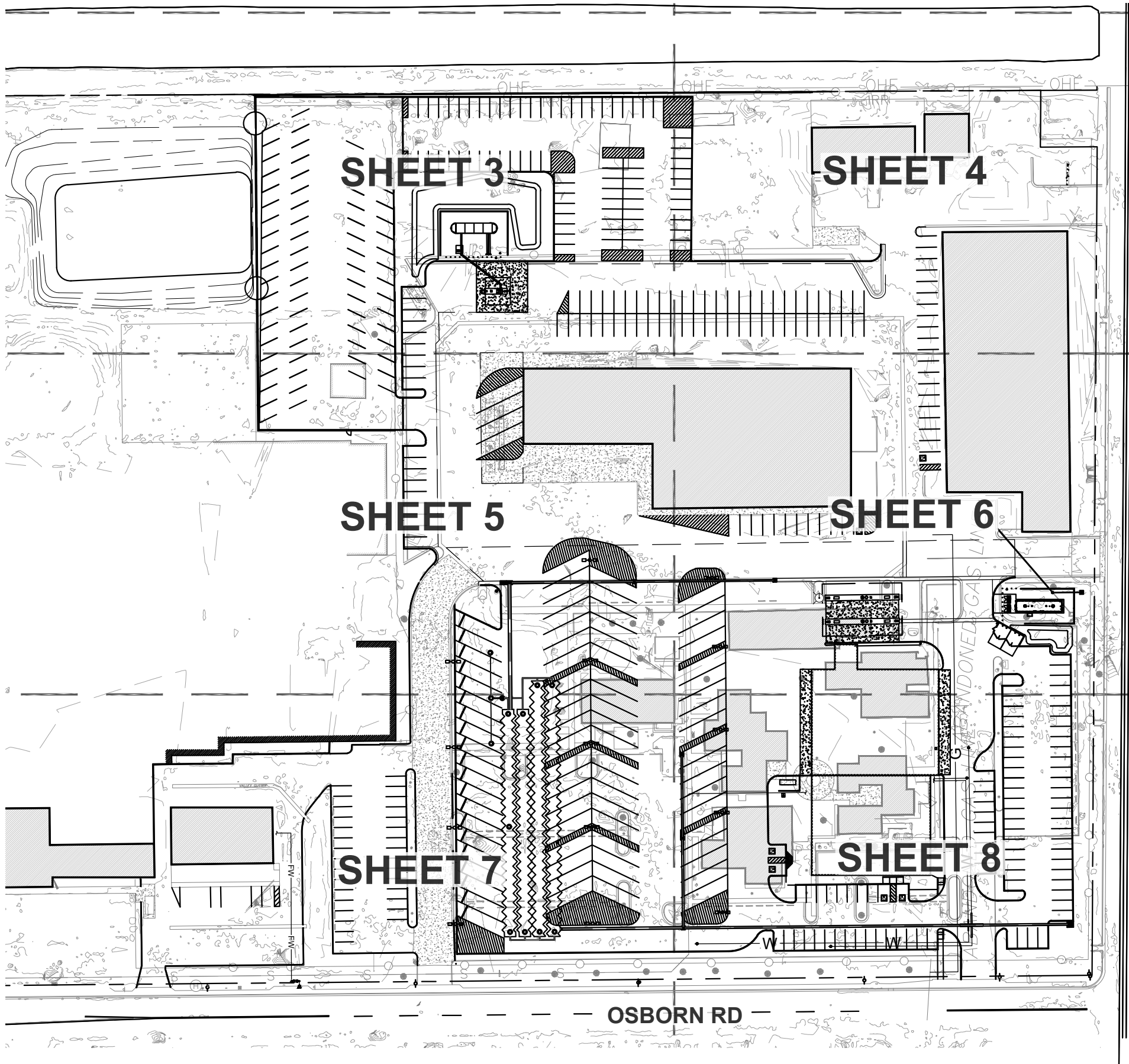
1. A GRADING PERMIT IS REQUIRED UNDER CHAPTER 32A OF THE PHOENIX CITY CODE.
2. WHEN HAUL PERMITS ARE REQUIRED, THEY MUST BE OBTAINED PRIOR TO OR CONCURRENTLY WITH THE GRADING AND DRAINAGE PERMIT.
3. EXCAVATING CONTRACTOR MUST GIVE LOCATION FOR WASTING EXCESS EXCAVATION AND A LETTER FROM OWNER GIVING PERMISSION FOR DUMPING PRIOR TO STARTING ON-SITE CONSTRUCTION. IF EXCESS EXCAVATION EXCEEDS 100 CUBIC YARDS, THE DISPOSAL SITE WILL ALSO REQUIRE A GRADING AND DRAINAGE PERMIT.
4. PLANNING AND DEVELOPMENT DEPARTMENT FIELD INSPECTION GROUP SHALL BE NOTIFIED 48 HOURS BEFORE ANY ON-SITE AND/OR OFF-SITE CONSTRUCTION BEGINS. TELEPHONE (602) 262-7811.
5. STAKING PAD ELEVATIONS IS THE RESPONSIBILITY OF THE OWNER AND HIS ENGINEER. THE OWNER'S ENGINEER SHALL SUBMIT THREE SEALED COPIES OF THIS GRADING AND DRAINAGE PLAN DESIGNATED AS "RECORD DRAWING" (BEARING AN ORIGINAL SIGNATURE) PRIOR TO REQUEST FOR FINAL INSPECTION.
6. PAD CERTIFICATIONS WILL BE REQUIRED ON ALL LOTS WITHIN THE SUBDIVISION AND SUBMITTED TO THE CIVIL/SITE INSPECTOR PRIOR TO ANY CONCRETE CONSTRUCTED IN THE RIGHT-OF-WAY. PAD CERTIFICATION CAN BE SUBMITTED TO THE CIVIL/SITE INSPECTOR BY EITHER SUBMITTING ONE APPROVED BLACK-LINE AS-BUILT GRADING AND DRAINAGE PLAN OR IN LETTER FORMAT SHOWING THE DESIGN AND AS-BUILT PAD ELEVATIONS AS SHOWN ON THE APPROVED GRADING AND DRAINAGE PLAN. IT IS REQUIRED THAT THE AS-BUILT PLAN AND LETTER BE SEALED BY A CIVIL ENGINEER OR LAND SURVEYOR REGISTERED IN THE STATE OF ARIZONA.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. GRADING AND DRAINAGE PLAN APPROVAL INCLUDES THE CONSTRUCTION OF ALL SURFACE IMPROVEMENTS SHOWN ON THE APPROVED PLAN, INCLUDING, BUT NOT LIMITED TO, RETENTION AREAS, SEDIMENTATION BASINS, AND/OR OTHER DRAINAGE FACILITIES, DRAINAGE PATTERNS, WALLS, CURBS, ASPHALT PAVEMENT, AND BUILDING FLOOR ELEVATION.
10. GRADES SHOWN IN RETENTION BASINS ARE DESIGN FINISHED GRADES. SHOULD THE CONTRACTOR OR ANY SUB-CONTRACTOR PLAN TO PLACE SPOIL DIRT FROM FOOTINGS, UTILITY TRENCHES, LANDSCAPING, SWIMMING POOLS, ETC. IN THE BASINS, THE BASINS SHOULD BE SUFFICIENTLY OVER-EXCAVATED DURING THE ROUGH GRADING OPERATION TO ALLOW FOR THE PLACEMENT OF THE FILL OR LANDSCAPING MATERIALS.
11. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND CONFIRMING DEPTHS OF ALL THE EXISTING UTILITY LINES WITHIN PROPOSED RETENTION BASIN AREAS. IF THE BASIN CANNOT BE CONSTRUCTED PER PLAN BECAUSE OF CONFLICTS, THE CONTRACTOR SHOULD DISCUSS MODIFICATION OF BASIN CONFIGURATION WITH THE CIVIL INSPECTOR TO DETERMINE IF A PLAN REVISION OR A FIELD CHANGE IS REQUIRED.
12. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS, OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
13. PER SECTION 6.8.7 OF THE CITY OF PHOENIX STORM WATER POLICIES AND STANDARDS, SIDE SLOPES OF STORM WATER STORAGE FACILITIES SHALL BE NO STEEPER THAN 5:1 FOR IRRIGATED GRASS AREAS AND 3:1 FOR LANDSCAPE AREAS. SLOPE STABILIZATION MEASURES ARE REQUIRED FOR ALL SLOPES GREATER THAN 5:1. THE SLOPE STABILIZATION MEASURES MUST BE READILY MAINTAINABLE USING COMMON MAINTENANCE EQUIPMENT AND BE DESIGNED WITH CONSIDERATION TO AESTHETICS. THE SLOPE STABILIZATION MEASURES SHALL BE CONSISTENT WITH COMMONLY USED ENGINEERING PRACTICES. UN-STABILIZED DECOMPOSED GRANITE IS NOT ALLOWED ON SLOPES GREATER THAN 5:1.
14. ALL RETAINING WALLS ARE TO BE REVIEWED, PERMITTED, AND INSPECTED BY THE BUILDING SAFETY BRANCH OF THE PLANNING & DEVELOPMENT DEPARTMENT. ALL RETAINING WALLS ARE TO BE IN ACCORDANCE WITH SECTION 703 OF THE ZONING ORDINANCE AND SECTION 32-32 OF THE SUBDIVISION ORDINANCE FOR SPECIFIC WALL HEIGHT REQUIREMENTS. USE PERMIT IS REQUIRED FOR OVER-HEIGHT RETAINING WALLS.
15. ALL RAMPS MUST MEET 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND CITY OF PHOENIX SUPPLEMENT TO M.A.G. UNIFORM STANDARD SPECIFICATIONS AND DETAILS: 2% MAX CROSS SLOPES AND 12:1 MAX LONGITUDINAL SLOPES.
16. CERTIFICATE OF OCCUPANCY (C OF O) AND/OR FINAL ELECTRICAL CLEARANCE FOR ANY BUILDING IS DENIED UNTIL ALL GRADING AND DRAINAGE IMPROVEMENTS ARE COMPLETED.
17. EXISTING OR NEWLY DAMAGED AND/OR DISPLACED CONCRETE CURB, GUTTER, SIDEWALK, OR DRIVEWAY SLAB THAT IS WITHIN THE RIGHT-OF-WAY SHALL BE REPAIRED OR REPLACED, AS NOTED BY CITY INSPECTORS, BEFORE FINAL ACCEPTANCE OF THE WORK.
18. THE ENGINEERING DESIGN ON THESE PLANS IS ONLY APPROVED BY THE CITY IN SCOPE AND NOT IN DETAIL. CONSTRUCTION QUANTITIES ON THESE PLANS ARE NOT VERIFIED BY THE CITY. APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE CITY FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
19. THE CITY OF PHOENIX POLICE DEPARTMENT ENFORCES LAWS REGULATING THE OPERATION OF COMMERCIAL VEHICLES. THIS INCLUDES ENFORCEMENT OF FEDERAL, STATE, COUNTY AND LOCAL LAWS AND ORDINANCES. QUESTIONS REGARDING COMMERCIAL VEHICLE ENFORCEMENT MAY BE DIRECTED TO THE COMMERCIAL VEHICLE ENFORCEMENT SUPERVISOR AT (602) 495-7813 (TRAFFIC BUREAU SOUTH) OR (602) 495-6784 (TRAFFIC BUREAU NORTH)
20. PLAN APPROVAL IS VALID FOR 12 MONTHS. PRIOR TO PLAN APPROVAL EXPIRATION, ALL ASSOCIATED PERMITS SHALL BE PURCHASED OR THE PLANS SHALL BE RESUBMITTED FOR EXTENSION OF PLAN APPROVAL. THE EXPIRATION, EXTENSION, AND REINSTATEMENT OF CIVIL ENGINEERING PLANS AND PERMITS SHALL FOLLOW THE SAME GUIDELINES AS THOSE INDICATED IN THE PHOENIX BUILDING CONSTRUCTION CODE ADMINISTRATIVE PROVISIONS SECTION 105.3 FOR BUILDING PERMITS.
21. CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE LATEST APPLICABLE MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND DETAILS AND THE LATEST CITY OF PHOENIX SUPPLEMENT TO THE MAG UNIFORM STANDARD SPECIFICATIONS AND DETAILS.
22. COMPACTION SHALL COMPLY WITH M.A.G. SECTION 601.
23. OBSTRUCTIONS TO PROPOSED IMPROVEMENTS IN THE RIGHT-OF-WAY SHALL BE REMOVED OR RELOCATED BEFORE BEGINNING CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
24. THE ACTUAL POINT OF PAVEMENT MATCHING AND/OR TERMINATION SHALL BE DETERMINED IN THE FIELD BY THE CITY OF PHOENIX, PLANNING & DEVELOPMENT DEPARTMENT FIELD INSPECTOR.
25. PAVEMENT REPLACEMENT THICKNESS AND TYPE ARE TO BE PER M.A.G. SECTION 336 AND C.O.P. DETAIL P1200- TYPE B. CURB AND GUTTER REPLACEMENT SHALL BE A MINIMUM OF ONE (1) FULL SECTION, PER M.A.G. STANDARD DETAIL 220. SIDEWALK REPLACEMENT SHALL BE A MINIMUM OF ONE (1) FULL PANEL PER C.O.P. DETAIL P1230.
26. TREES AND SHRUBBERY IN THE RIGHT-OF-WAY THAT CONFLICT WITH PROPOSED IMPROVEMENTS SHALL NOT BE REMOVED WITHOUT APPROVAL OF THE CITY LANDSCAPE ARCHITECT OR HIS ASSIGNEES. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING AUTHORIZATION TO REMOVE AND/OR RELOCATE SAID TREES OR SHRUBBERY BY CALLING THE PARKS AND RECREATION DEPARTMENT AT (602) 262-6501 AND TRANSPORTATION DEPARTMENT AT (602) 534-9898.
27. PER THE CITY OF PHOENIX ORDINANCE G-6308. ALL STREET PAVEMENT CUTS WILL REQUIRE ASPHALT RESURFACING TREATMENTS BASED ON THE AGE OF THE PAVEMENT. FOR STREETS LESS THAN TWO YEARS OLD, THE PERMITTEE MUST APPLY AN ASPHALT MILL AND OVERLAY PAVEMENT TREATMENT. FOR STREETS GREATER THAN TWO YEARS OLD, THE PERMITTEE MUST APPLY A SLURRY SEAL AND/OR MICROSEAL TREATMENT.

1. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR REGISTERING THE DRY WELL AS SHOWN ON THE GUIDING AND DRAINAGE PLAN WITH THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (A.D.E.Q.). FOR INFORMATION ABOUT SPECIFIC REQUIREMENTS, CONTACT THE WATER PERMITS UNIT AT (602) 771-4686.
2. DRY WELLS MUST BE DRILLED A MINIMUM OF 10 FEET INTO PERMEABLE POROUS STRATA OR PERCOLATION TESTS WILL BE REQUIRED. THE REQUIRED DRAINAGE INSPECTOR MUST BE PRESENT BEFORE BACKFILL OR WELL PIPES ARE PLACED WITHIN ANY DRY WELLS.
3. THE OWNER/DEVELOPER IS RESPONSIBLE FOR INSTALLING DRYWELLS SHOWING THE RETENTION BASINS FAIR TO DRAIN WITHIN 36 HOURS.

_____	_____	_____	MONUMENT LINE
_____	_____	_____	RIGHT-OF-WAY
_____	_____	_____	PROPERTY LINE
_____	_____	_____	EASEMENT LINE
_____	_____	_____	CENTERLINE
_____	1235	_____	EXISTING CONTOUR
_____	_____	_____	PHASE LINE
_____	G	G	EXISTING GAS LINE
_____	S	S	EXISTING SANITARY SEWER
_____	W	W	EXISTING WATERLINE
_____	SD	SD	EXISTING STORM DRAIN
_____	IR	IR	EXISTING IRRIGATION LINE
_____	COMM	COMM	EXISTING COMMUNICATIONS LINE
_____	P	P	EXISTING UNDERGROUND POWER LINE
_____	UNK	UNK	UNKNOWN UNDERGROUND UTILITY
=====	=====	=====	EXISTING CURB/GUTTER
U	J	P	JUNCTION BOX
E	G	W	METER
S	B	T	PEDESTAL
Ø			POLE
T			TRANSFORMER
X			LIGHT
V			VAULT
▲			RISER
⊙			HYDRANT
⊞			STORM DRAIN INLET
⊙			MANHOLE
○			CLEANOUT
⊞			FIRE DEPARTMENT CONNECTION
⊞			VALVE

GR	GRATE
LS	LANDSCAPE
MH	MANHOLE
M.C.R.	MARICOPA COUNTY RECORDER
P	PAVEMENT
PROP	PROPOSED
PUE	PUBLIC UTILITY EASEMENT
ROW	RIGHT OF WAY
SB	SETBACK
SS	SANITARY SEWER
TC	TOP OF CURB
TYP	TYPICAL

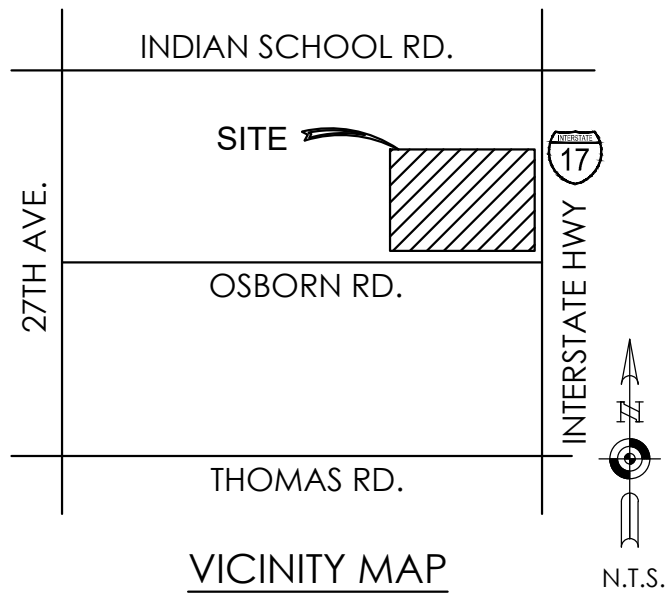
LOCATED IN THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 2N, RANGE 2E,
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



ITEM	PAVING	QTY	UNIT
1	AC PAVEMENT - 3" ACC ON 8" ABC	12,199	SY
2	AC PAVEMENT - 4" ACC ON 9" ABC	8,940	SY
3	AC PAVEMENT - 2" ACC ON 6" ABC	2,973	SY
4	SINGLE CURB, TYPE "A" (MAG STD DTL. 222)	11,066	LF
5	VERTICAL CURB & GUTTER TYPE "A" (MAG STD DTL. 220-1)	43	LF
6	CURB TERMINATION (MAG STD DTL. 222)	4	EA
7	DEPRESSED CURB OPENING	2	EA
8	3' WIDE VALLEY GUTTER (MAG STD DETL. 222)	342	LF
9	6" CLASS "A" CONCRETE (MAG SECTION 725)	263	SY
10	8" CLASS "A" CONCRETE (MAG SECTION 725)	195	SY
11	CONCRETE SIDEWALK (C.O.P. STD. DETAIL P1230)	283	SY
12	PEDESTRIAN RAMP (DETAIL 3, SHEET 2.)	1	EA
13	PEDESTRIAN RAMP (COP STD. DETAIL P1241-1)	2	EA
14	SIGNING & STRIPING (COP SECTION 702.G)	6	EA
15	REFUSE ENCLOSURE	1	EA
16	6" BLOCK PERIMETER WALL	800	LF
ITEM	STORM DRAIN	QTY	UNIT
17	10" DIA. CMP PIPE	850	LF
18	10" CMP BULKHEAD	8	EA
19	CMP ACCESS RISER	8	EA
20	2'X2' CATCH BASIN TYPE G (MAG STD DTL. 537)	5	EA
21	2'X4' CATCH BASIN TYPE G (MAG STD DTL. 537)	4	EA
22	NYLOPLAST JUNCTION BOX	1	EA
23	4" HDPE STORM DRAIN	26	LF
24	12" HDPE STORM DRAIN	135	LF
25	15" HDPE STORM DRAIN	197	LF
26	18" HDPE STORM DRAIN	529	LF
27	24" HDPE STORM DRAIN	221	LF
28			
29			

ITEM	PAVING	QTY	UNIT
1	CONCRETE SIDEWALK (C.O.P. STD. DETAIL P1230)	1	SY
2	(RESERVED)		

1	03/26/2021	V.E. COORDINATION
2	03/22/2022	NORTH PARKING LOT
3	02/07/2023	RAISE GARAGE FFE



APN	110-20-002 & 110-20-003A
GROSS AREA	21.808 AC± (949,969 SF±)
NET AREA	20.190 AC± (879,476 SF±)
ZONING	R1-6

AMENT PROFESSIONAL SERVICES
1838 W. PARKSIDE LANE #105
PHOENIX, ARIZONA 85027

CONTACT: KAMERON TOBIN, PE
PHONE: 480-656-0191
EMAIL: KAMERON@AMENTPRO.COM

THOMAS+CROWLEY
1150 N. COUNTRY CLUB DR. SUITE 11
MESA, AZ 85201

CONTACT: CRAIG CROWLEY
PHONE: 480-878-4708
EMAIL:
CRAIG@THOMAS-CROWLEY.COM

PAVING, GRADING & DRAINAGE IMPROVEMENTS FOR MAJOR RENOVATION OF PHOENIX
UNION SCHOOL DISTRICT SUPPORT FACILITY.

THE CITY OF PHOENIX BRASS CAP IN HAND HOLE AT INTERSECTION OF 27TH AVE AND OSBORN RD (OBJECT ID 513). HAVING A PUBLISHED ELEVATION = 1106.468' (NAVD 1929 DATUM).

THE MONUMENT LINE OF OSBORN ROAD, BEING THE MIDSECTION LINE OF SECTION 25,
BEARING NORTH 89° 27' 50" EAST.

FLOOD ZONE DESIGNATION "X" PER F.E.M.A. FLOOD INSURANCE RATE MAP, MAP NUMBERS 04013C2205L, PANEL 2205 OF 4425, DATED 10/16/13.

ZONE "X" - AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

SITE IS IN A SPECIAL FLOOD HAZARD AREA (Y) (N)
 OFFSITE FLOWS AFFECT THIS SITE (Y) (N) MARYVALE ADMS OR (N/A)
 RETENTION PROVIDED IS FOR THE 100-YEAR, 2-HOUR STORM EVENT
 EXTREME STORM OUTFALLS THE SITE AT:

SOUTHWEST ENTRANCE AT THE ELEVATION OF 1107.41

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREO
WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BES
OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER	REG. NO.	DATE
---------------------	----------	------

AMENT

1838 W PARKSIDE LN
SUITE 105
PHOENIX, AZ 85027
WWW.AMENTPRO.COM
OFFICE: 480-656-0151
INFO@AMENTPRO.COM

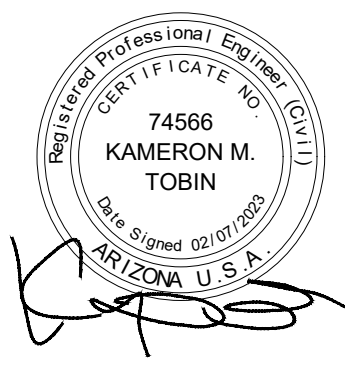
DISTRICT SUPPORT FACILITY - MAIN BUILDING

PHOENIX UNION HIGH SCHOOL DISTRICT
2526 W. OSBORN ROAD
PHOENIX, AZ 85017

C.B. COVER SUFT

REVISIONS		
REV#	DATE	DESCRIPTION
1	03/26/2021	V.E. COORD.
2	03/22/2022	ADD N.W. PARKING
3	02/07/2023	RAISE GARAGE FFF

REVIEWED BY: KMT
DRAWN BY:



ORIGINAL ISSUE
DATE: 07.29.2022

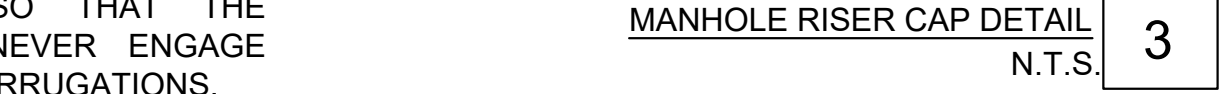
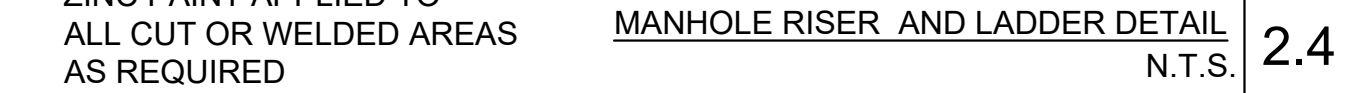
JOB No: 2025

SHEET:

GD 01
SEQUENCE #: _____

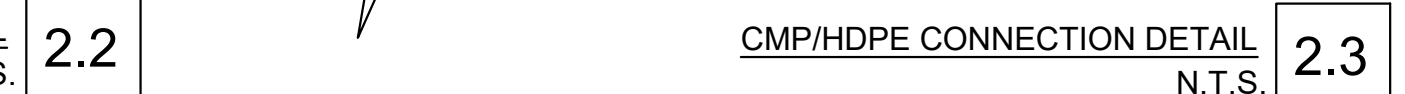
- NOTHING CONTAINED IN THE CONTRACT DOCUMENTS SHALL CREATE, NOR SHALL BE CONSTRUED TO CREATE, ANY CONTRACTUAL RELATIONSHIP BETWEEN THE ENGINEER AND THE CONTRACTOR OR ANY SUBCONTRACTOR.
2. THE ENGINEER WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES OR FOR SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK, AND THEY WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
3. THE SURVEYOR WILL NOT BE RESPONSIBLE FOR CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONSTRUCTION STAKING DOES NOT REPLACE CONTRACTOR'S RESPONSIBILITY TO READ AND CONSTRUCT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
4. THE ENGINEER SHALL BE NOTIFIED IF DURING ANY PHASE OF CONSTRUCTION, OWNER OR CONTRACTOR DISCOVERS OR IS MADE AWARE OF SITE CONDITION CHANGES OR OTHER CONDITIONS WHICH NECESSITATE ADDITIONAL ENGINEERING INVESTIGATION, DESIGN MODIFICATION OR OTHER AMENDMENTS TO PLANS, SPECIFICATIONS, AND/OR ESTIMATES, BEFORE CONSTRUCTION OR ACTIVITIES PROCEED. THESE PLANS ARE SUBJECT TO THE INTERPRETATION OF INTENT BY THE ENGINEER. ANY QUESTIONS CONCERNING THE ACCURACY OF IMPROVEMENT PLANS OR DESIGN CONFLICTS SHALL BE RAISED PRIOR TO COMPLETION OF THE WORK.
5. ESTIMATED QUANTITIES ARE FOR INFORMATION PURPOSES ONLY. THE ENGINEER MAKES NO GUARANTEES AS TO THEIR ACCURACY. CONTRACTOR SHALL MAKE AN INDEPENDENT DETERMINATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THE IMPROVEMENTS IN ACCORDANCE WITH THE PLANS PRIOR TO BIDDING.
6. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
7. CONTRACTOR AND SUBCONTRACTORS SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR PROJECT SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS, AT ALL TIMES. THE ENGINEER'S PRESENCE ON THE CONSTRUCTION SITE SHALL NOT RELIEVE THE CONTRACTOR OR ITS SUBCONTRACTORS OF THEIR OBLIGATIONS, DUTIES AND RESPONSIBILITIES FOR ALL FACETS OF SITE CONSTRUCTION AND SAFETY. THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL SAFETY DEVICES CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.
8. CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD TRANSMISSION LINES OR UNDERGROUND UTILITIES.
9. THE CONTRACTOR IS RESPONSIBLE TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION WORK AND TO TAKE NECESSARY PRECAUTIONS TO AVOID DAMAGING THE UTILITIES.
10. ALL UTILITIES SHOWN ON THE DRAWINGS ARE BELIEVED TO BE ACCURATE THROUGH THE SEARCH OF AVAILABLE RECORDS AND FIELD INSPECTION PERFORMED BY SAFE SITE UTILITY SERVICES, LLC, ON 09/01/2020. THE ENGINEER AND OWNER DO NOT GUARANTEE ANY LOCATIONS AS SHOWN ON THESE PLANS OR THOSE OMITTED FROM SAME.
11. THE CONTRACTOR SHALL PERFORM ANY NECESSARY EXCAVATIONS TO LOCATE AS-BUILT UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IF REVISIONS TO PLANS ARE NECESSARY DUE TO ACTUAL LOCATIONS OF AS-BUILT FACILITIES.
12. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY IF "OTHER UTILITIES" (NOT SHOWN ON THE PLAN) EXIST WITHIN THE AREA OF CONSTRUCTION. SHOULD THERE BE "OTHER UTILITIES," THE CONTRACTOR SHALL NOTIFY THE RESPECTIVE UTILITY OWNERS TO RESOLVE UTILITY CONFLICTS AND OTHER UTILITY ADJUSTMENTS AS REQUIRED. ANY DAMAGE CAUSED BY THE CONTRACTOR SHALL BE REPAIRED TO THE APPROPRIATE SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE.
13. CONTRACTOR IS RESPONSIBLE TO LEAVE ALL PIPE EXCAVATIONS OPEN UNTIL AS-BUILT DATA CAN BE COLLECTED BY THE OWNER'S REPRESENTATIVE TO COMPLY WITH CITY REQUIREMENTS. IF ANY TRENCHES ARE BACKFILLED PREVENTING AS-BUILT MEASUREMENTS, IT SHALL BE CONTRACTORS RESPONSIBILITY TO POTHOLE THE UTILITY TRENCHES AS NECESSARY TO COMPLETE THE AS-BUILT SURVEY.
14. THESE PLANS WERE DESIGNED AND APPROVED TO BE IN GENERAL CONFORMANCE TO CURRENT JURISDICTIONAL DEVELOPMENT STANDARDS. THE CONTRACTOR SHALL:

NOTE: PAVEMENT THICKNESS
RECOMMENDATIONS BASED ON FINDINGS IN
GEOTECHNICAL REPORT PREPARED BY
SPEEDIE AND ASSOCIATES, DATED 12/10/2020



SPECIAL INSPECTION NOTE

- SPECIAL INSPECTION BY A CERTIFIED INSPECTOR IS REQUIRED FOR THE UNDERGROUND RETENTION SYSTEM, THE CONTRACTOR SHALL CONTRACT AND PAY FOR ALL THE COST FOR THE PRIVATE CERTIFIED INSPECTOR.
- BACKFILL MUST BE COMPLETED IN ACCORDANCE WITH THE RECOMMENDATION OF THE GEOTECHNICAL REPORT AND THE MANUFACTURER'S SPECIFICATION.
- ALL SPECIAL INSPECTION WILL BE PERFORMED BY THE OWNER'S REPRESENTATIVE WITH COPIES PROVIDED TO THE CITY ENGINEERING OR DEVELOPMENT DEPARTMENT.

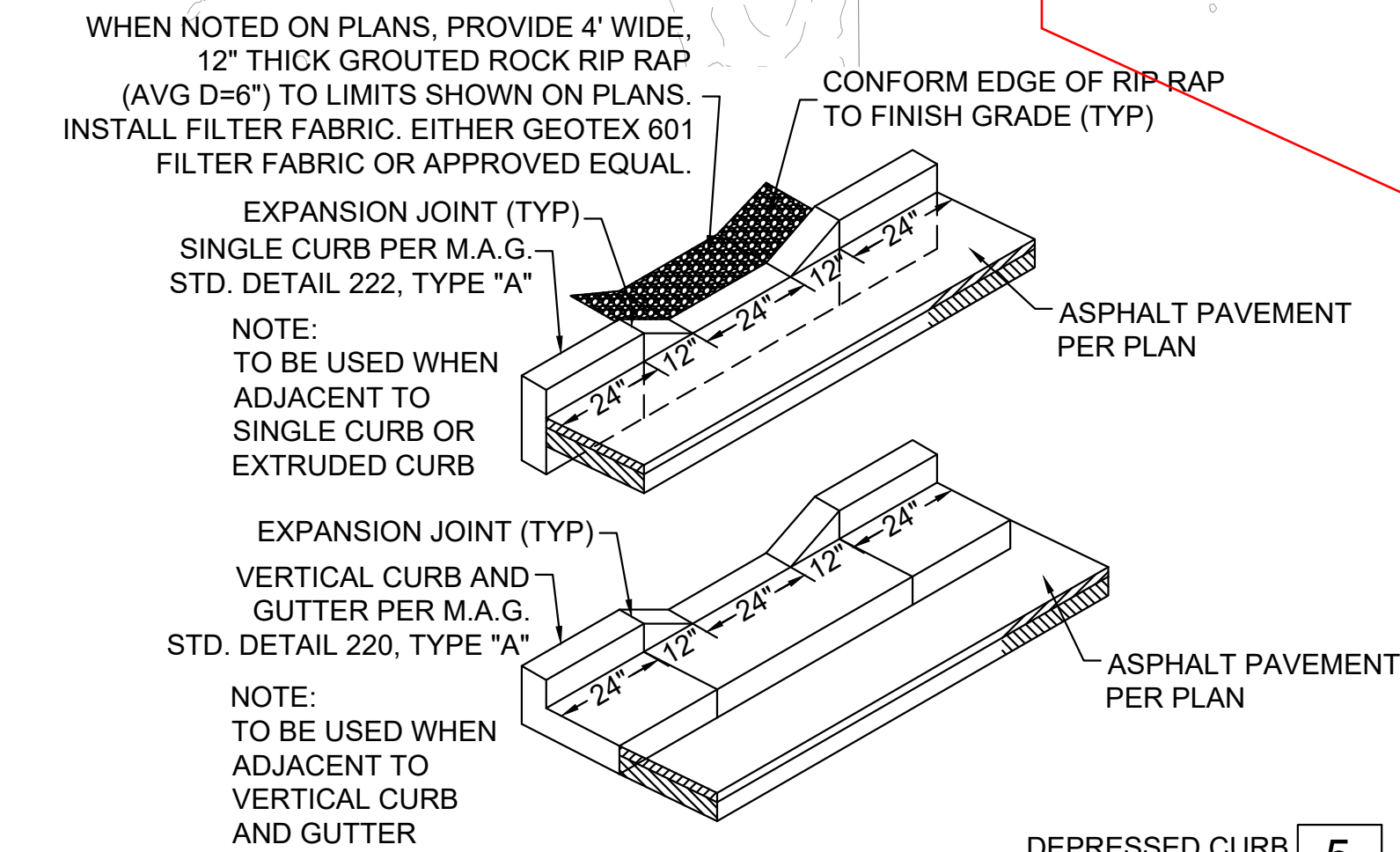


The MaxWell® Plus Drainage System Detail And Specifications



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- A detailed cross-section diagram of a roof assembly. The layers from top to bottom are: 1. A thin top layer (likely membrane or paint). 2. A layer of insulation with a wavy, irregular top surface. 3. A layer of insulation with a cross-hatched pattern. 4. A layer of insulation with a diagonal hatched pattern. 5. A layer of insulation with a diagonal hatched pattern. 6. A layer of insulation with a diagonal hatched pattern. 7. A layer of insulation with a diagonal hatched pattern. 8. A layer of insulation with a diagonal hatched pattern. 9. A layer of insulation with a diagonal hatched pattern. 10. A layer of insulation with a diagonal hatched pattern. 11. A layer of insulation with a diagonal hatched pattern. 12. A layer of insulation with a diagonal hatched pattern. 13. A layer of insulation with a diagonal hatched pattern. The diagram is labeled with circled numbers 1 through 13, corresponding to the list of components on the right.

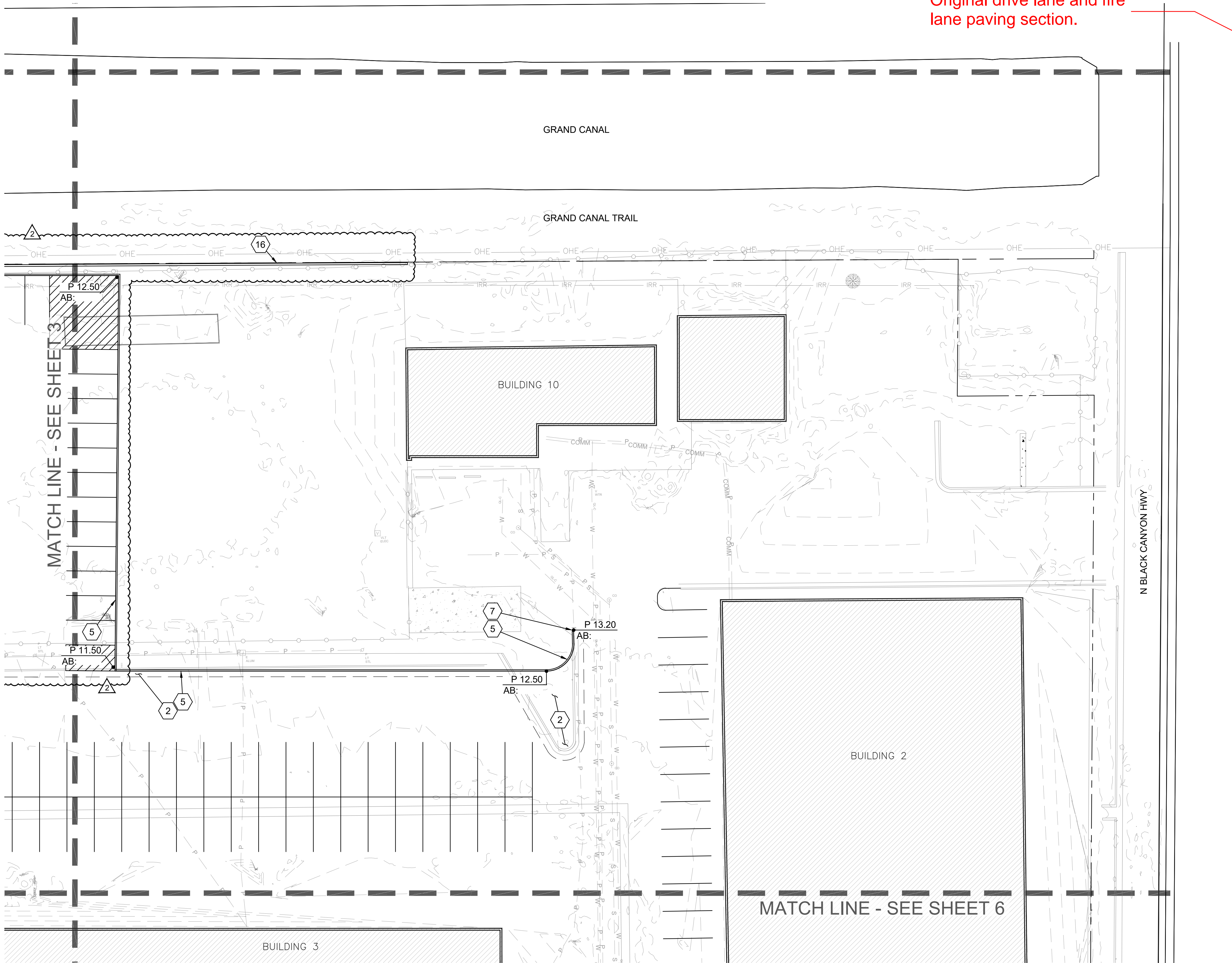
S. Patent No. 4,923,330 - TM Trademark 1974, 1990, 200



1. MATCH EXISTING
2. INSTALL 3" ACCP OVER 8" ABC PER M.A.G. SPEC. 321. SEE DETAIL 1, SHEET 2.
3. INSTALL 4" ACCP OVER 9" ABC PER M.A.G. SPEC. 321. SEE DETAIL 1, SHEET 2.
4. INSTALL 2" ACCP OVER 6" ABC PER M.A.G. SPEC. 321. SEE DETAIL 1, SHEET 2.
5. INSTALL 6" SINGLE CURB PER M.A.G. STD. DETAIL 222, TYPE 'A'.
6. INSTALL VERTICAL CURB & GUTTER TYPE 'A' PER M.A.G. STD. DETAIL 220-1.
7. INSTALL CURB TERMINATION PER M.A.G. STD. DETAIL 222.
8. INSTALL DEPRESSED CURB OPENING PER DETAIL 5, SHEET 3.
9. INSTALL 3' WIDE VALLEY GUTTER PER M.A.G. STD. DETAIL 222.
10. INSTALL 8" CLASS "A" CONCRETE PER M.A.G. SECTION 725.
11. INSTALL CONCRETE SIDEWALK PER C.O.P. STD. DETAIL P1230.
12. INSTALL PEDESTRIAN RAMP PER DETAIL 6, SHEET 8.
13. INSTALL PEDESTRIAN RAMP PER C.O.P. STD. DETAIL P1241-1.
14. INSTALL ADA SIGNING & STRIPING PER C.O.P. DETAIL CONTAINED IN ACCESSIBLE PARKING REQUIREMENTS PER CITY OF PHOENIX ZONING ORDINANCE SEC. 702.G, MARCH 2013.

19. INSTALL TYPE "G" CATCH BASIN PER M.A.G. STD. DTL. 537 W/ DOUBLE GRATE (2'X4' - INSIDE BOX DIMENSIONS).
20. INSTALL TORRENT RESOURCES MAXWELL (C) PLUS DRYWELL AND INTERCEPTOR PER DETAIL 5, SHEET 2. DRYWELL MAY BE OPTIONAL IF FIELD PERCOLATION TEST OF CONSTRUCTED DRYWELL(S) REVEAL SOILS W/ PERMEABILITY RATES HIGHER THAN 0.1 CFS. DESIGN ENGINEER SHALL BE CONSULTED TO CALCULATE BASIN DRAIN TIME AND APPROVE ELIMINATION OF DRYWELL.
21. INSTALL 10" DIAMETER CORRUGATED METAL PIPE (CMP) 14 GAGE WITH 1" x 5" CORRUGATIONS PER DETAILS 2.1, 2.2, 2.3 & 2.4, SHEET 2, AND M.A.G. STD. SPECIFICATION 601 & 621. ALL CMP JOINTS SHALL BE WATERTIGHT.
22. INSTALL 48" CMP ACCESS WITH 30" GRATE PER DETAIL 3, SHEET 2. PROVIDE CONCRETE COLLAR PER M.A.G. STD. DTL. 422.
23. INSTALL 48" MANHOLE OVER EXISTING DRYWELL PER M.A.G. STD. DETAIL 522.
24. INSTALL NYLOPLAST JUNCTION (12" MINIMUM) PER MANUFACTURER'S SPECIFICATIONS WITH SOLID, WATERTIGHT LID.
25. INSTALL TURN BLOCK WALL OPENING PER DETAIL 4, SHEET 2.

SEQUENCE #: _____



- (X) PAVING, GRADING & DRAINAGE NOTES
1. MATCH EXISTING.
 2. INSTALL 3" ACCP OVER 8" ABC PER M.A.G. SPEC. 321. SEE DETAIL 1, SHEET 2.
 3. INSTALL 4" ACCP OVER 9" ABC PER M.A.G. SPEC. 321. SEE DETAIL 1, SHEET 2.
 4. INSTALL 2" ACCP OVER 6" ABC PER M.A.G. SPEC. 321. SEE DETAIL 1, SHEET 2.
 5. INSTALL 6" SINGLE CURB PER M.A.G. STD. DETAIL 222, TYPE 'A'.
 6. INSTALL VERTICAL CURB & GUTTER TYPE 'A' PER M.A.G. STD. DETAIL 220-1.
 7. INSTALL CURB TERMINATION PER M.A.G. STD. DETAIL 222.
 8. INSTALL DEPRESSED CURB OPENING PER DETAIL 5, SHEET 3.
 9. INSTALL 3' WIDE VALLEY GUTTER PER M.A.G. STD. DETAIL 222.
 10. INSTALL 8" CLASS "A" CONCRETE PER M.A.G. SECTION 725.
 11. INSTALL CONCRETE SIDEWALK PER C.O.P. STD. DETAIL P1230.
 12. INSTALL PEDESTRIAN RAMP PER DETAIL 6, SHEET 8.
 13. INSTALL PEDESTRIAN RAMP PER C.O.P. STD. DETAIL P1241-1.
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 15. INSTALL REFUSE ENCLOSURE PER C.O.P. PUBLIC WORKS DEPARTMENT SOLID WASTE ACCESS AND CONTAINMENT STANDARD DETAILS. SEE ARCHITECTURAL PLANS. PAINT TO MATCH LOCAL THEME.
 16. INSTALL BLOCK PERIMETER WALL. SEE LANDSCAPE PLANS FOR DETAIL.
 17. INSTALL HIGH DENSITY POLYETHYLENE (HDPE) STORM DRAIN PIPE, FOR BEDDING SEE M.A.G. STD. SPECIFICATION 601, SIZE, LENGTH, AND SLOPE PER PLAN.
 18. INSTALL TYPE "G" CATCH BASIN PER M.A.G. STD. DTL. 537 W/ SINGLE GRATE (2'X2' - INSIDE BOX DIMENSIONS).
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DISTRICT SUPPORT FACILITY - MAIN BUILDING

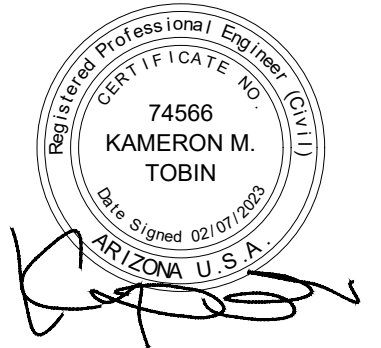
PHOENIX UNION HIGH SCHOOL DISTRICT
2526 W. OSBORN ROAD
PHOENIX, AZ 85017

G & D PLAN

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REVISIONS		
REV#	DATE	DESCRIPTION
1	03/26/2021	V.E. COORD.
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3	02/07/2023	RAISE GARAGE FFE

REVIEWED BY: KMT
DRAWN BY:



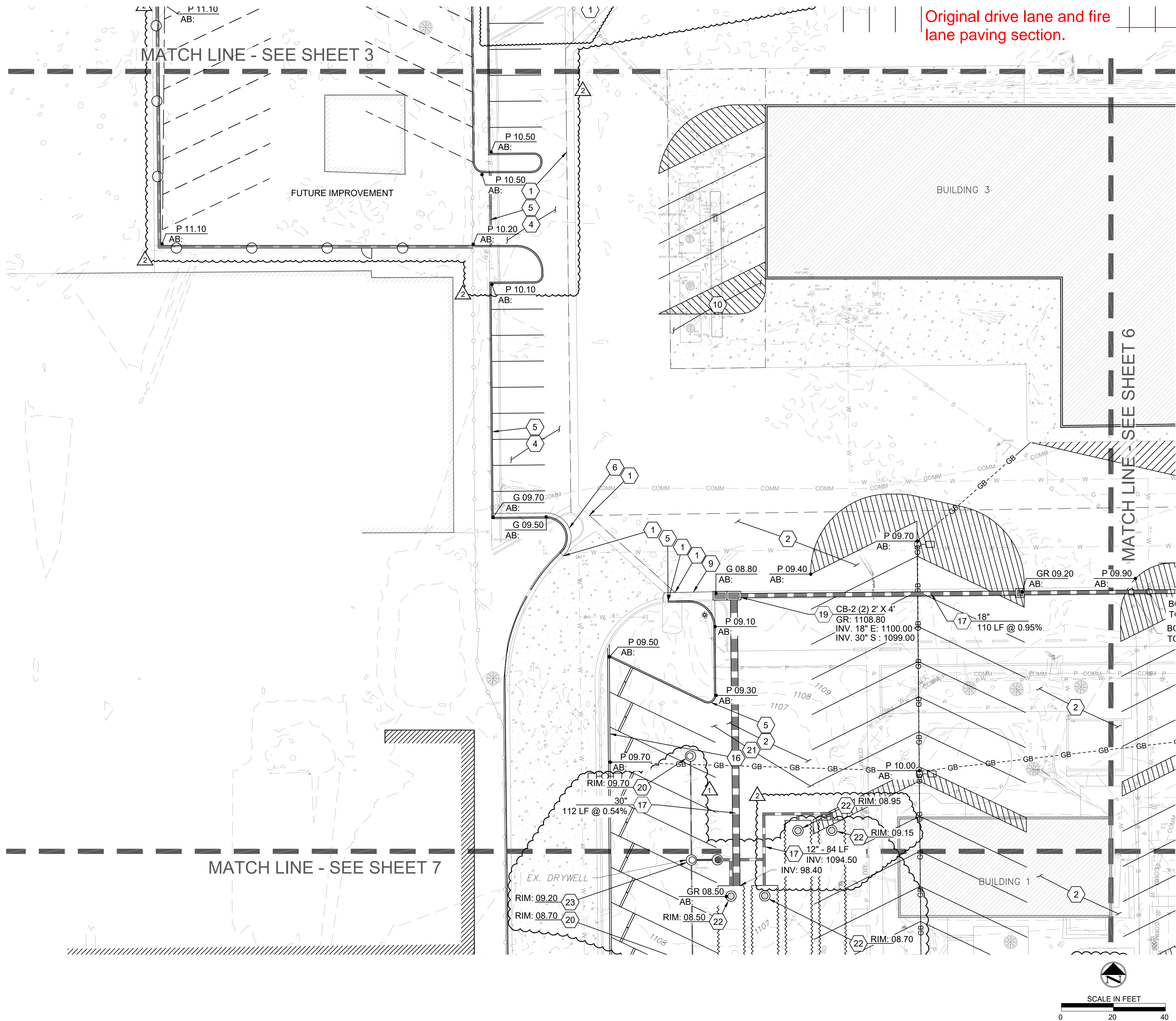
ORIGINAL ISSUE
DATE: 07.29.2022

JOB No: 2025

SHEET:

GD 04

SEQUENCE #:



- (X) PAVING, GRADING & DRAINAGE NOTES
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 7. INSTALL CURB TERMINATION PER M.A.G. STD. DETAIL 222.
 8. INSTALL DEPRESSED CURB OPENING PER DETAIL 5, SHEET 3.
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DISTRICT SUPPORT FACILITY - MAIN BUILDING

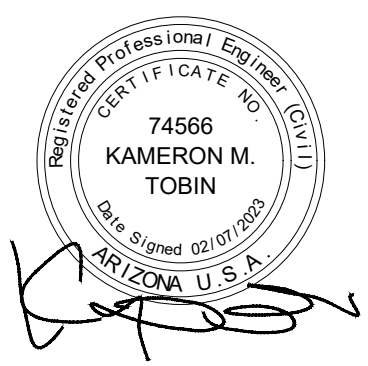
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REVIEWED BY: KMT
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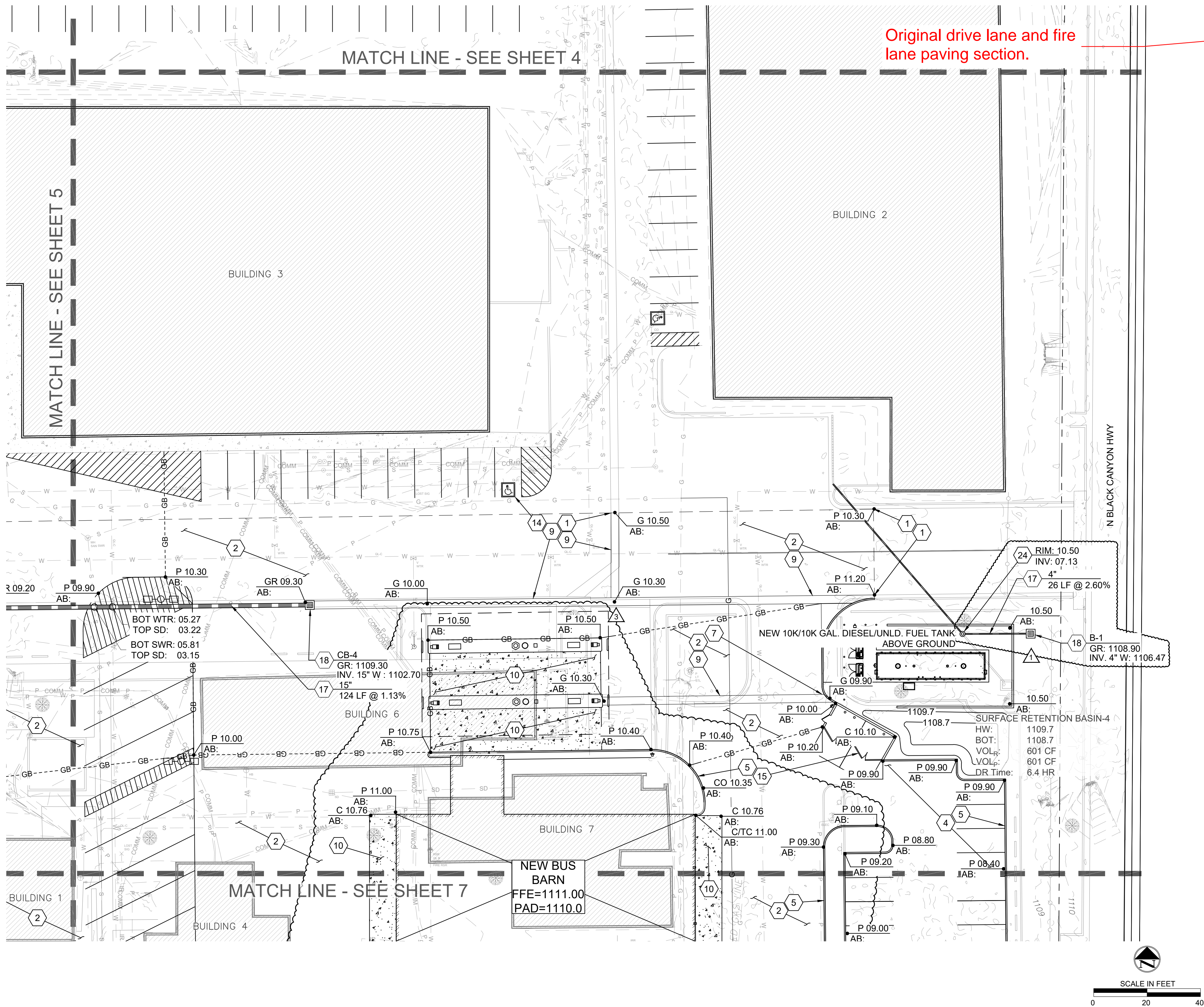
ORIGINAL ISSUE
DATE: 07.29.2022

JOB No: 2025

SHEET:

GD 05

SEQUENCE #:



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DISTRICT SUPPORT FACILITY - MAIN BUILDING

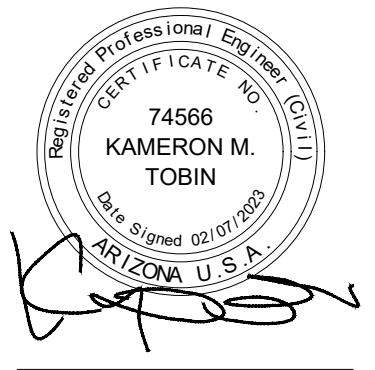
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REVIEWED BY: KMT
DRAWN BY:



ORIGINAL ISSUE
DATE: 07.29.2022

JOB No: 2025

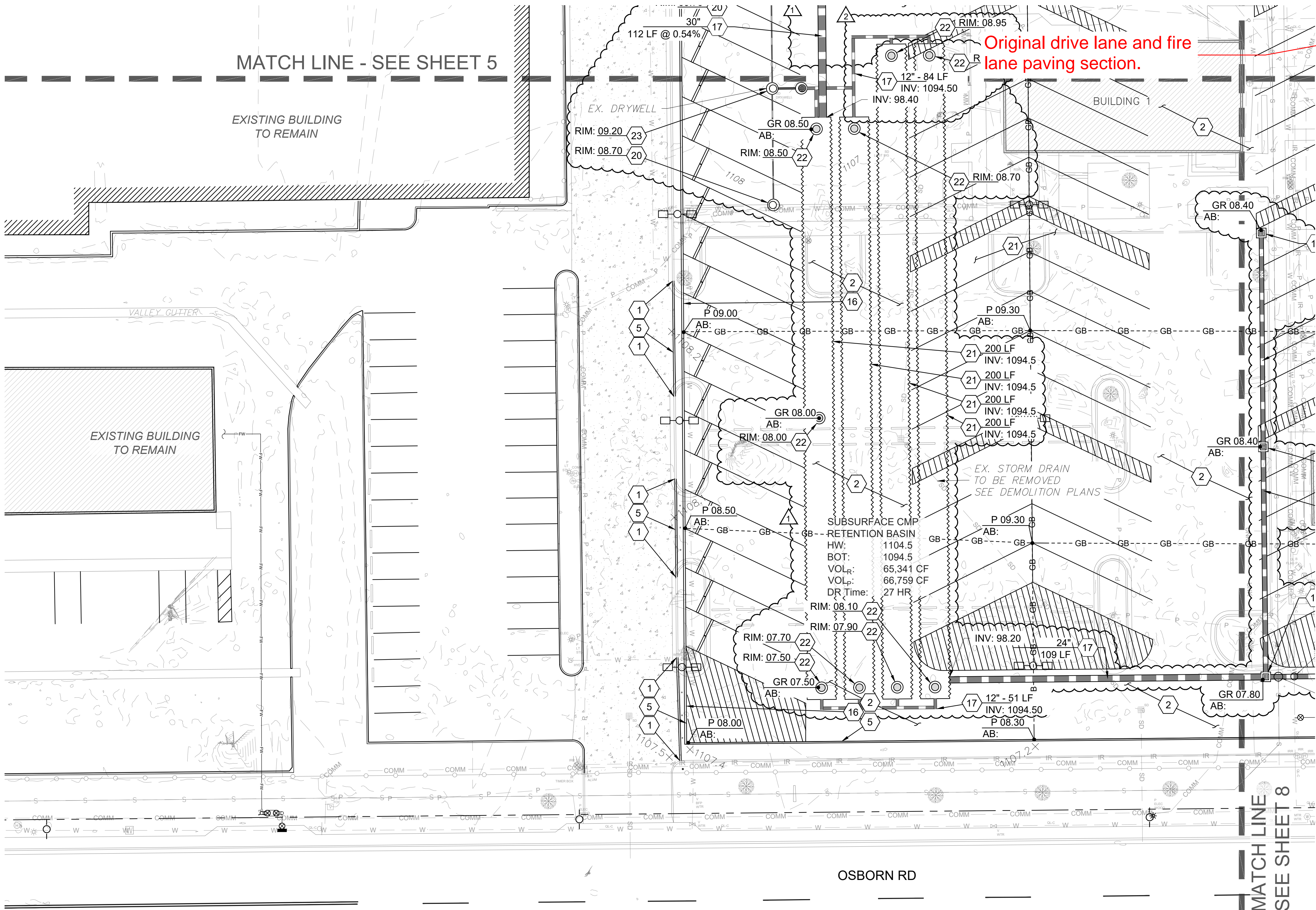
SHEET:

GD 06

SEQUENCE #:

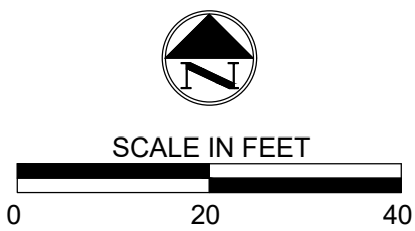
SPS+ ARCHITECTS LLP
8881 E. VIA DE NEGRO DR.
TUCSON, AZ 85745
PH: 520.426.1180
F: 520.426.1180

AMENT
1838 W. PARKSIDE LN.
SUITE 100
PHOENIX, AZ 85027
WWW.AMENTPRO.COM
PH: 602.954.9171
INFO@AMENTPRO.COM



(X) PAVING, GRADING & DRAINAGE NOTES

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DISTRICT SUPPORT FACILITY - MAIN BUILDING

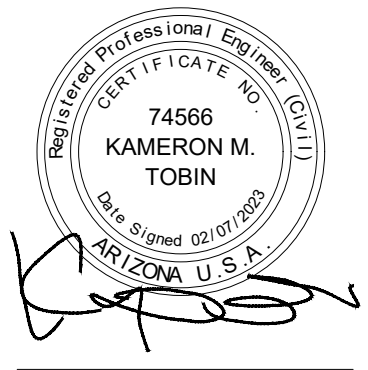
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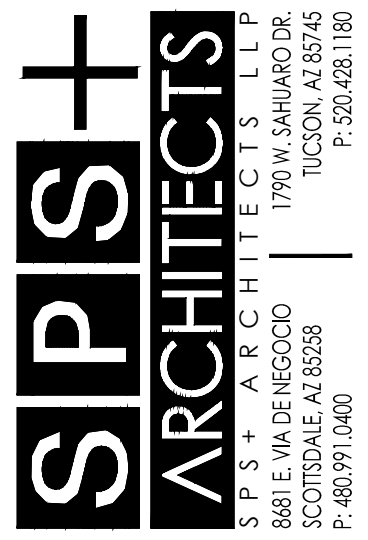
ORIGINAL ISSUE
DATE: 07.27.2022

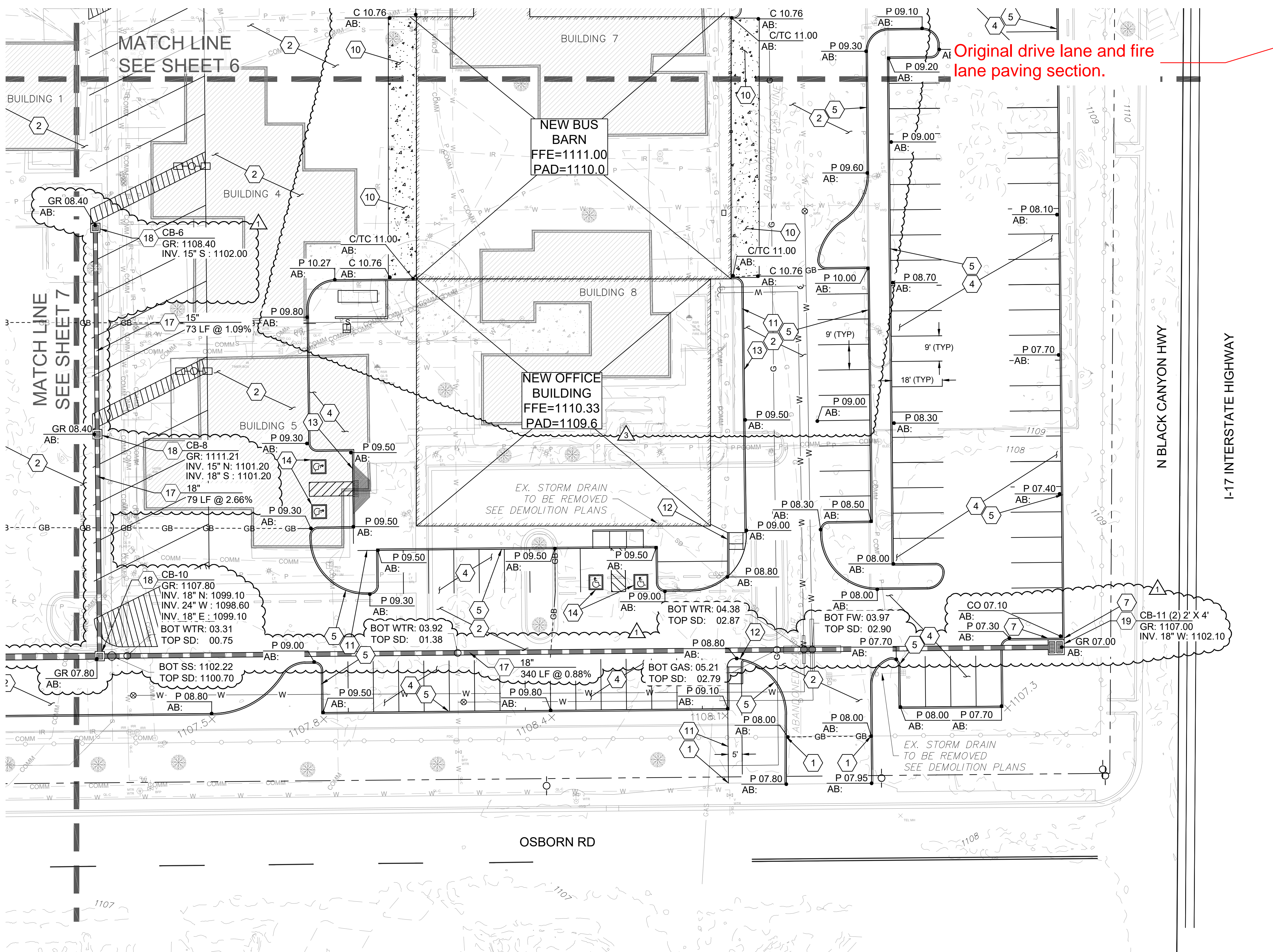
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SHEET:

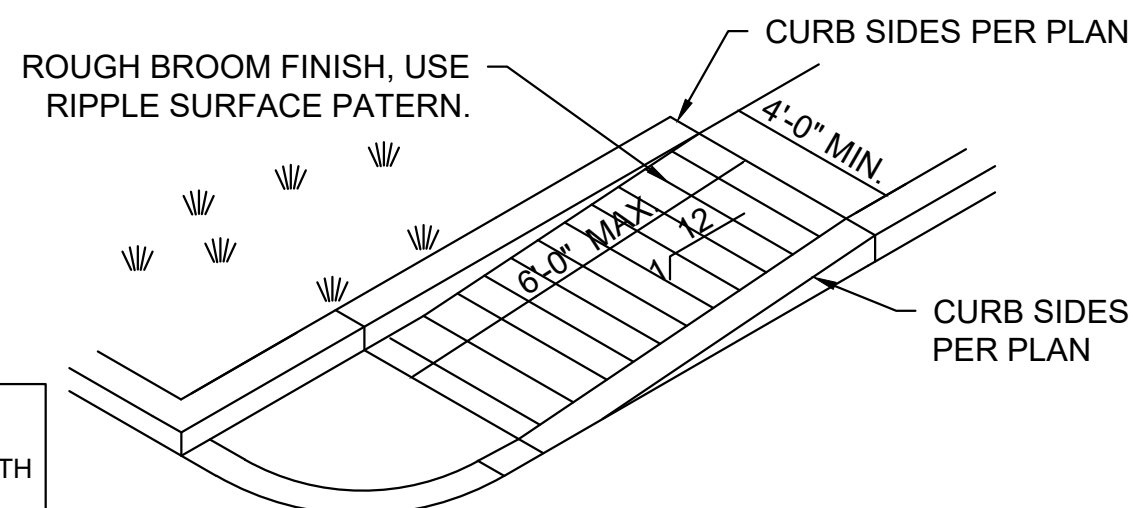
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SEQUENCE #:



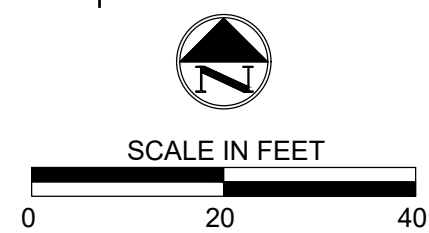


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HANDICAP RAMP DETAIL TYPE 1
N.T.S.

6



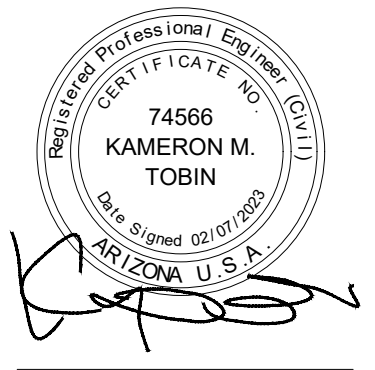
NOTE:
- ALL HANDICAP RAMPS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ADA REQUIREMENTS.
- HANDRAILS ARE TO BE INSTALLED AS REQUIRED BY ADA.

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PHOENIX, AZ 85017
G & D PLAN

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REVISIONS		
REV#	DATE	DESCRIPTION
1	03/26/2021	V.E. COORD.
2	03/22/2022	ADD N.W. PARKING
3	02/07/2023	RAISE GARAGE FFE

REVIEWED BY: KMT
DRAWN BY:



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DATE: 07.29.2022

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